

**REQUEST FOR PROPOSAL TO
DISMANTLE, REMOVE AND RESTORE
"HISTORIC" RESIDENCE**

**460 MOUNTAIN HOME ROAD
WOODSIDE, CALIFORNIA**

1. Introduction and Summary. Steven P. Jobs and the Town of Woodside (the "Town") seek proposals from persons qualified to dismantle, move off-site and restore an historic residence eligible for listing on the California Register of Historic Resources. The residence known as the Jackling House is currently situated on property owned by Mr. Jobs at 460 Mountain Home Road in Woodside, California. The structure contains approximately 17,000 square feet, including the 10,000 square foot structure designed by George Washington Smith for the original owner Daniel Jackling and an addition designed by Smith's apprentice. Mr. Jobs and the Town desire to have the Jackling House restored in accordance with the *Secretary of the Interior's Guidelines* promulgated by the United States Department of the Interior (the "*Secretary's Standards*"). Mr. Jobs has obtained permission from the Town to demolish the Jackling House conditioned upon his first making a diligent effort to have it dismantled, moved to another site and restored in accordance with the *Secretary's Standards*. The Town is an interested party seeking to assure that the historic residence is properly preserved.

Mr. Jobs will donate the Jackling House and its contents to the successful proponent at no cost, and will provide funds partially to compensate the proponent for moving expenses, the amount to be based on the final terms of the proposal that the Town and Mr. Jobs accept. Mr. Jobs and the Town intend to enter into a contract with the party selected to perform the work.

Such a contract will depend in large part upon completion of a significant due diligence examination in accordance with the procedures described below. The proposals solicited at this time are an effort to identify parties who are seriously interested and who have the qualifications to perform the task.

2. Elements of the Proposal Being Sought. Mr. Jobs and the Town seek a firm contract with a party qualified to perform the work of dismantling, removing and restoring and reconstructing the residence according to the *Secretary's Standards*. Such a party must demonstrate the following:

(a) The skill and experience required to perform the work. The showing required must include a list of the contractors and consultants on the proponent's team with a summary of their experience and qualifications and a list of references who may be contacted for verification. The proposal should establish that at least one member of the team is familiar with and has performed a task controlled by the restoration guidelines referred to in Exhibit A of this RFP.

(b) Control of a site where the residence will be restored and a showing that permits or other permissions required for construction have been or can be obtained for the restored residence in that location.

(c) Rehabilitation plans according to the *Secretary's Standards* and the technical components outlined in Exhibit A, restoration guidelines.

(d) Evidence of financial ability to pay for the required work and to provide Mr. Jobs and the Town with assurance, in the form of a performance bond or similar protections,

that the restoration the work will be completed and that the cost of the work will be paid in a timely manner.

Mr. Jobs and the Town understand that proposals at this stage are preliminary in nature and will be conditioned upon examination of the residence, the plans and other due diligence matters. Anyone making a proposal in response to this request will be consenting to the process described in paragraph 3 below as the basis upon which preliminary proposals received will be processed to reach a firm, mutually acceptable contract with a selected proponent.

3. Process To Be Followed For Final Selection.

The hearings held by the Town on Mr. Jobs' application for a demolition permit received prominent national publicity. The permit required Mr. Jobs to advertise the availability of the residence, which has been done or is in process. As a result, Mr. Jobs and the Town have received many inquiries from persons expressing interest in acquiring the residence. The process outlined below is intended to draw from the list of those who have expressed such interest a "short list" of qualified parties with the ability to perform. These parties will be given access to more detailed information and a chance to inspect the property. During that process, representatives of Mr. Jobs, in cooperation with the Town, will examine and evaluate the various proposals in an effort to select the one that appears most likely to lead to a successful result. Parties responding to this request for proposal agree to the following process:

(a) To be considered, responses must address each of the elements described in Paragraph 1. In general, the more information that is provided, the better, particularly on the issues of experience, qualification and financial ability to perform.

(b) Unless the time for receipt of responses is extended in writing, no response received after June 3, 2005 will be considered.

(c) Representatives of Mr. Jobs and the Town will consider the responses over a period of thirty (30) days. They may have questions. Each proponent should identify in its proposal a person or persons to whom such questions may be addressed. The representatives of Mr. Jobs and the Town will be attempting to reduce the number of proponents to a "short list" of no more than five (5) (referred to herein as the "Finalists").

(d) The Finalists will be offered an opportunity to tour and inspect the property, the relevant documents and other matters they may deem relevant, including the terms of the contract that the party selected will be required to enter into. To participate in the due diligence process, tour the property and inspect relevant documents, proponents will be required to execute a confidentiality agreement intended to protect the information from broad and indiscriminate dissemination. If more than one Finalist completes the due diligence process, offers to sign the contract and post the required security, Mr. Jobs and the Town, with the advice of their consultants, will select the winning proponent based on their judgment of the merits of the competing proposals in all their aspects.

(e) The process of working with the Finalists to reach a contract with the winning proponent will take a period of sixty (60) calendar days. Work should commence within ten (10) days after contract execution, or as noted in the contract.

4. Disclaimers And Agreements.

By responding to this Request For Proposal and participating in the process described above, all proponents agree to the following:

(a) Neither Mr. Jobs nor the Town (or any representative of either of them) has made any representation or warranty concerning or with respect to any aspect of the process described herein, or any matter material thereto, including, but without limitation, the condition of the residence, its suitability to be dismantled, moved and restored (in whole or in part) or the requirements that might be imposed to achieve a restoration that complies with applicable regulations or guidelines.

(b) Given the nature of the matter, the process by which the Finalists are selected and the successful proponent chosen will inevitably involve matters of judgment, based on factors that are not entirely objective or capable of objective quantification. As a result, no proponent acquires a legal right of any kind or character by making a proposal or participating in the selection process, if it is not selected as a Finalist or as the successful proponent.

(c) Each proponent that becomes a Finalist will indemnify Mr. Jobs and the Town and hold them harmless of and from any and all loss, cost, damage, injury or expense (including, but without limitation, injury to or death of persons or damage to property) arising out of or related to the conduct by such proponent or its consultants of due diligence investigation as part of the process described in paragraph 3(d) above or any other activity with respect to the matter described herein.

EXHIBITS

- A. – Restoration Guidelines.
- B. – Original Design: Floor plans; exterior and interior photos.
- C. – Existing Conditions: exterior and interior photos.
- D. – Relocation Information; Cost estimate.

EXHIBIT A
RESTORATION GUIDELINES

Guidelines to Dismantle, Remove and Restore Historic Residence
The Jackling Residence
460 Mountain Home Road
Woodside, CA

A. Intent

1. To carefully document, dismantle, relocate the historic residence to a new site and then reconstruct the structure on this new site in accordance with the *Secretary of the Interior's Guidelines*. At the new site the setting shall be similar as permitted to the current setting.

B. Order of the Work

1. The following requirements follow one another in sequence to ensure that the historic residence is documented, dismantled, relocated and then reconstructed so that when completed, the residence is nearly identical to the residence prior to the move.

C. Work To Be Completed Prior to Dismantling

1. For the dismantling and relocation to be successful, detailed documentation of the structure in its current configuration must be completed accurately. To ensure that this is done, several steps must be completed in order as noted below. The intent is not to record every feature of the structure such as modern shelving and bathrooms, but to record the historic features that remain and the relationships of the features and massing of the residence.
2. The entire building, both inside and out, shall be photographed with perspective-controlled lenses, or digital camera, corrected for distortion, to create accurate color images. This may be accomplished with digital images or using a 4" x 5" camera with film.
3. Photographs showing the residence in the context of its site shall be taken to provide information about the relationship of the structure to its context.
4. All of the exterior elevations should be photographed so that accurate façade elevations may be created from the photographs.
5. Details of important features on the exterior shall be recorded photographically. These include, but are not limited to: tile roofs, exterior balconies and railings,

Guidelines to Dismantle, Remove and Restore Historic Residence
The Jackling House

windows, doors and frames, decorative tile work, decorative iron work and light fixtures.

6. Important features on the interior shall also be recorded photographically. These include, but are not limited to: main stair and balcony railings, windows, doors and frames, historic built-in cabinets, fireplace and surrounds, organ pipes and decorative openings, historic interior decorative tile work (particularly at stairs), decorative iron work, stair railings and light fixtures, and historic flooring (that remains). Historic decorative beamed ceilings shall also be recorded.
7. Three copies of the photographs shall be assembled in binders, indexed and each photograph identified and submitted to the Town of Woodside.
8. To ensure that the relocated sections are assembled in correct locations, the residence shall be surveyed with spot elevations in three dimensions taken of the primary exterior features of the structure. Information about the height vertically above an established datum, and horizontal locations in two dimensions from this datum. The intent is to locate ridges, eaves, etc. in space so that the positions noted may be used to reconstruct the structure.
9. Spot elevations shall be made to record the elevations of the eaves and ridges of all of the major roof forms, balconies, representative samples of windows and doors, chimneys, courtyard walls and attached garage.
10. Horizontal and vertical measurements of the exterior of the residence shall be taken or annotated from historic drawings.
11. Horizontal and vertical dimensions of the interior spaces shall also be noted and recorded.
12. Using the photographs and measurements completed above, detailed drawings showing each exterior elevation, plans noting the horizontal and vertical dimensions of rooms, doors and windows, and details of the dining and living room ceilings shall be prepared.
13. Record the compass direction of each elevation for use in reassembling the structure on the new site.
14. The additions at the southwest portion of the structure that are not historic do not need to be relocated.

Guidelines to Dismantle, Remove and Restore Historic Residence
The Jackling House

15. Three sets of drawings and written material shall be prepared to accurately record the dimensions and elements noted above and submitted to the Town of Woodside.

D. Dismantling The Residence

1. The Jackling estate was built in the Spanish Colonial Revival style. Its architect, George Washington Smith was famous for designing residences in this style, primarily in Santa Barbara and Montecito. The style is noted for large expanses of thick white walls, punctured with small door and window openings. Both the exterior and interior rooms are distinguished by having few fine finishes, detailed moldings or extensive detailing. The massing of buildings in this style is typically asymmetrical with many interlocking forms and tile roofs that extend beyond the walls below.
2. Because of this, it may be possible to only relocate the walls that have corners, balconies or other projections and ornament or openings in them. The plain stucco finish on these walls could be replicated at the new site and completed in a manner that was the same as the historic stucco finishes. If this is done, any walls that are not to be relocated should be identified and approval obtained by the Town of Woodside.
3. The proposed route from the existing site to the new site shall be studied to determine the size of the largest pieces that can be safely transported between the two sites. Consideration shall be given to overhead wires and poles, permitted load weight on roads, width of both pavement and right-of-way along the path of travel, and other factors that may affect the relocation.
4. Given the rural nature of the surrounding area, it is likely that the residence will need to be dismantled into sections that are relatively small. This will require extra care in determining where to cut the building into sections. Cuts shall be made between windows and doors, at corners, between studs and rafters, and at flat areas of wall where possible.
5. The moving contractor shall determine where cuts are to be made to dismantle the building, and these shall be noted on the building for review by the Town of Woodside.
6. Prior to cutting or removing any portion of the residence, complete building permits for the relocation and reconstruction shall be obtained and work approved by the Town of Woodside.

Guidelines to Dismantle, Remove and Restore Historic Residence

The Jackling House

7. The dining room and living room ceilings shall be divided into the largest size pieces necessary to carry out the relocation. Dividing the ceilings into sections shall be accomplished by carefully removing decorative ceiling beams and/or detailing so that little finish material is damaged and the ceilings may be reassembled with little patching required.
8. Roofing tiles shall be carefully removed from the roof without damaging adjacent tiles. They shall be stored on palettes for moving to the new site. Some breakage will occur but shall be kept to a minimum. When reassembled at the new location, new tiles may be scattered among the historic tiles so that patching large areas with new tiles is avoided.
9. Some elements such as the fireplace surround, decorative organ pipe openings and decorative tiles may be removed from walls as individual pieces, protected and then relocated.
10. Samples of the original historic stucco shall be taken and protected to serve as references for new stucco used in patching junctures between relocated portions of walls.

E. Relocating the Residence

1. All elements to be relocated shall be protected by wrapping with foam or covered with plywood or other protective material so that they are not damaged during transit to the new site. This includes, but is not limited to, windows and balcony elements.
2. Where walls are to be cut into pieces, cut vertically between studs to allow for reconstruction and connecting the wall sections with the minimum amount of patching the wall surfaces.
3. Where floors are to be cut into pieces, cut between joists to allow for reconstruction and reconnecting the floors with as little patching as necessary.
4. Where ceilings and roofing are to be cut into pieces, cut vertically between joists to allow for reconstruction and connecting the ceiling and roof elements with as little patching as necessary.
5. Windows shall be relocated intact with the wall sections associated with them. Doors may be removed and relocated independently of their frames and surrounds.

Guidelines to Dismantle, Remove and Restore Historic Residence
The Jackling House

F. Reconstructing the Residence

1. Based on the building documentation prepared above and the building permit, reassemble the structure to comply with the permit requirements.
2. The structure shall be oriented in the same compass direction as nearly as possible given the constraints of the new site. The intent is to create a similar environment to that of the original site.
3. At the new site, the relationship of the structure to the site shall be as similar as possible so that minimize changes in elevation that did not exist at the original site. While this may not be entirely possible, at doors and where major exterior patios, courtyard, etc. existed; the new grade relationship at these areas shall be kept close as possible to what existed prior to the relocation.
4. After completion of the work, the residence shall be photographed and three copies of the photographs shall be assembled in binders, indexed and each photograph identified and submitted to the Town of Woodside. Views to include overall context views, major exterior elevations and details.

EXHIBIT B

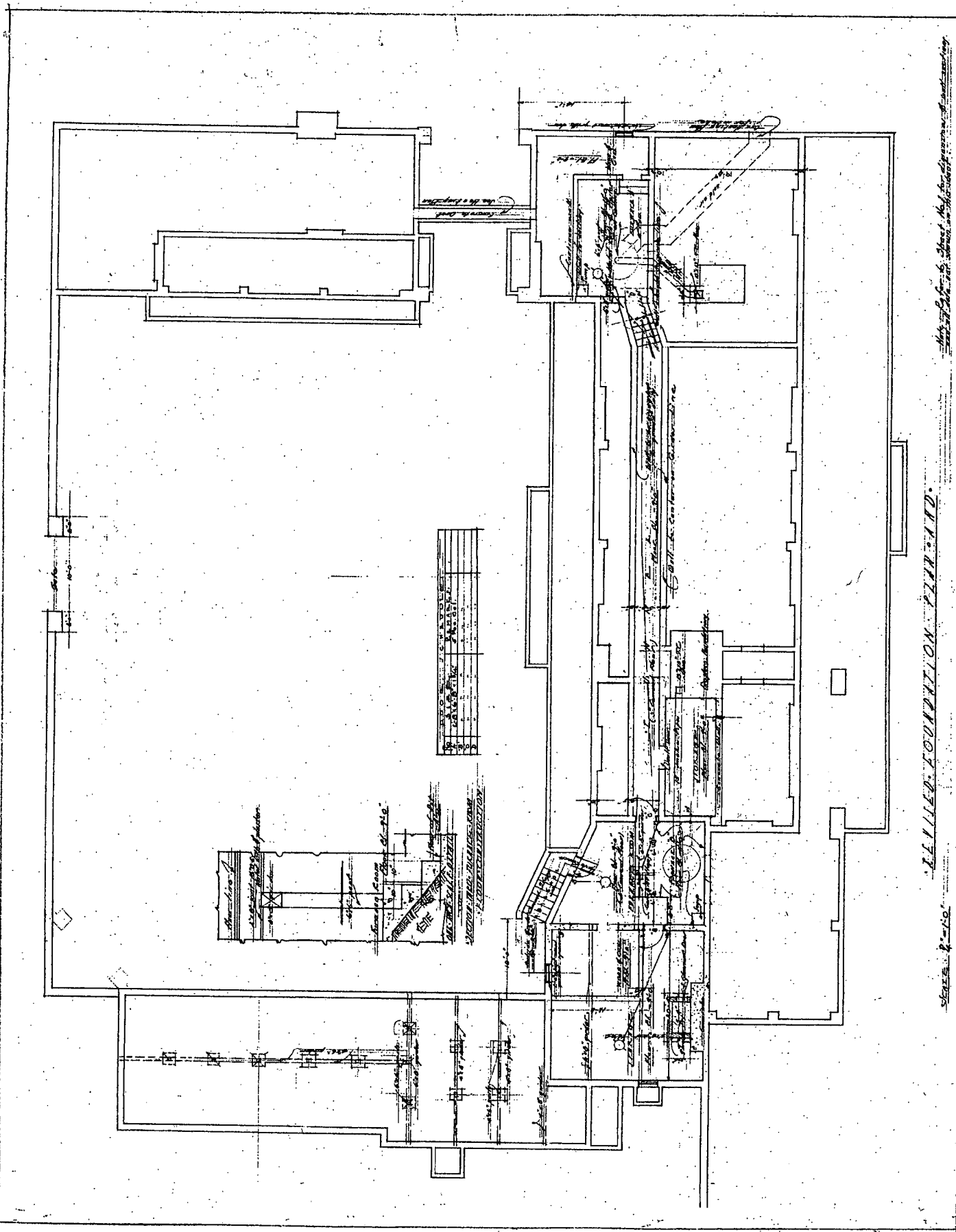
ORIGINAL DESIGN – FLOOR PLANS AND PHOTOS

List of Available Original Drawings

Daniel P. Jackling Residence
460 Mountain Home Road
Woodside, CA

Sheet No.	Title
1	Foundation Plan
1A	Revised Foundation Plan
2	1st Floor Plan
3	2 nd Floor Plan
3A	Sections - 2 nd Floor
4	East and South Elevations and Sections
5	West Elevation and Sections
6	Sections
7	Interior Elevations
8	Door Schedule
9	(Missing)
10	Entry Stairway
11	Entry Stairway Details
12	Details
13	Corbel Details
14	Sun Porch Details
15	Balcony Details
16	Fireplace Details

17 drawings in total



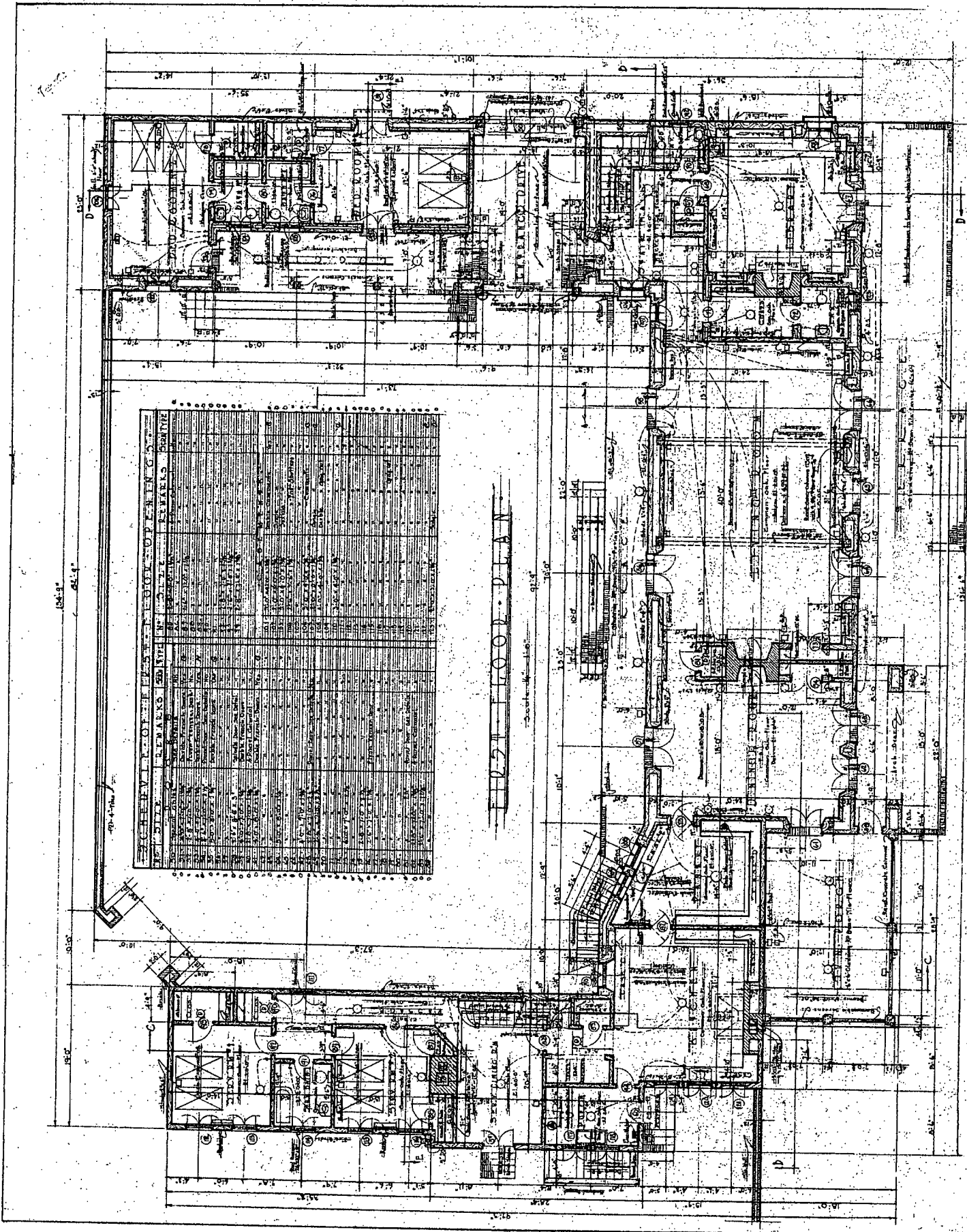
NO.	DESCRIPTION	QTY.
1	WOOD SHINGLES	1000
2	CEILING	1000
3	FLOORING	1000
4	PAINT	1000
5	GLASS	1000
6	IRON	1000
7	STEEL	1000
8	CEMENT	1000
9	BRICK	1000
10	PLASTER	1000

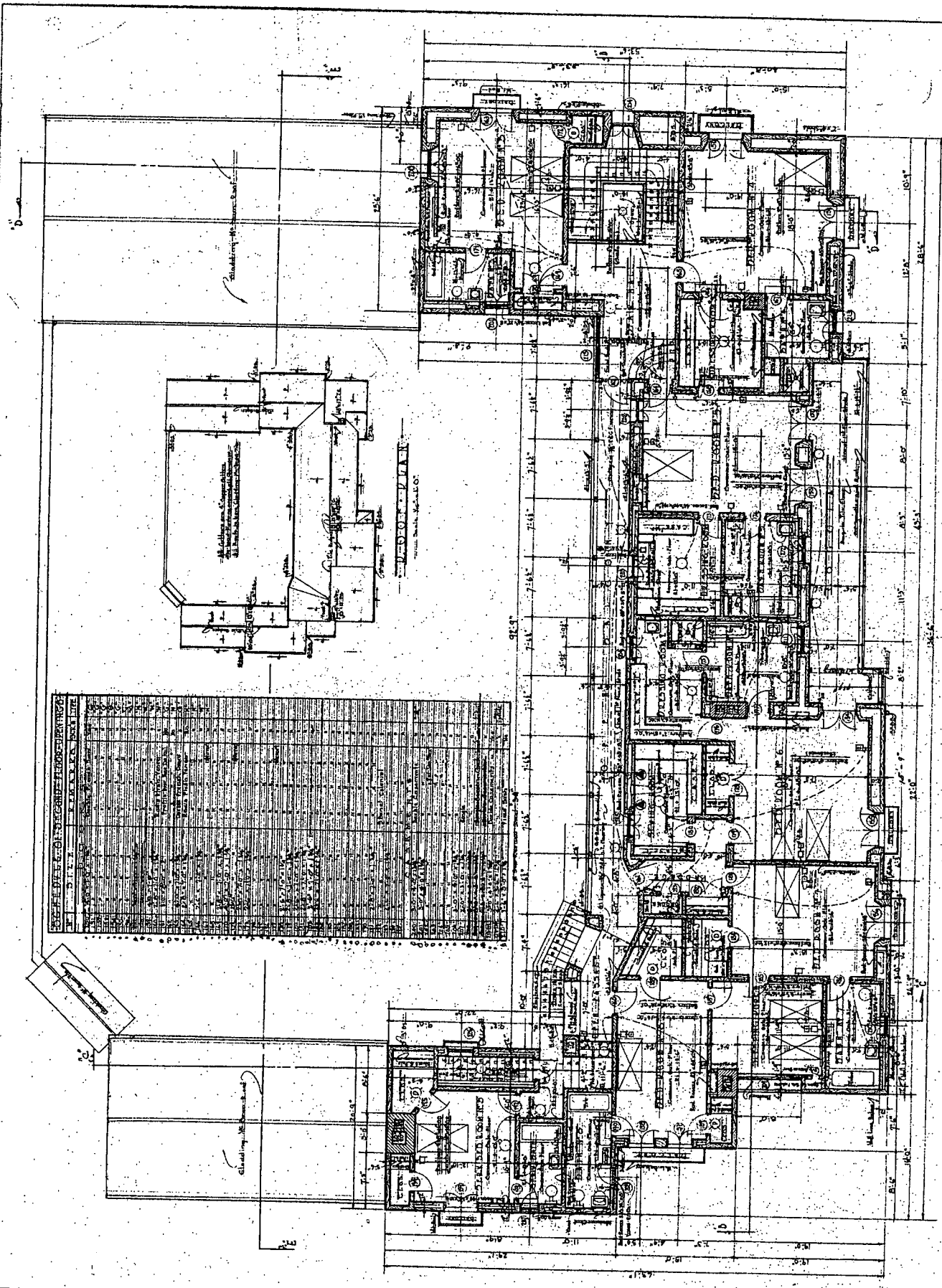
MILLER FOUNDATION PLAN 110.

Scale 1/4" = 1'-0"

Architect: [Name] Engineer: [Name]

DRAWN BY: [Name] CHECKED BY: [Name]
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 ARCHITECT: [Name] ENGINEER: [Name]
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SECTION THROUGH PLAN







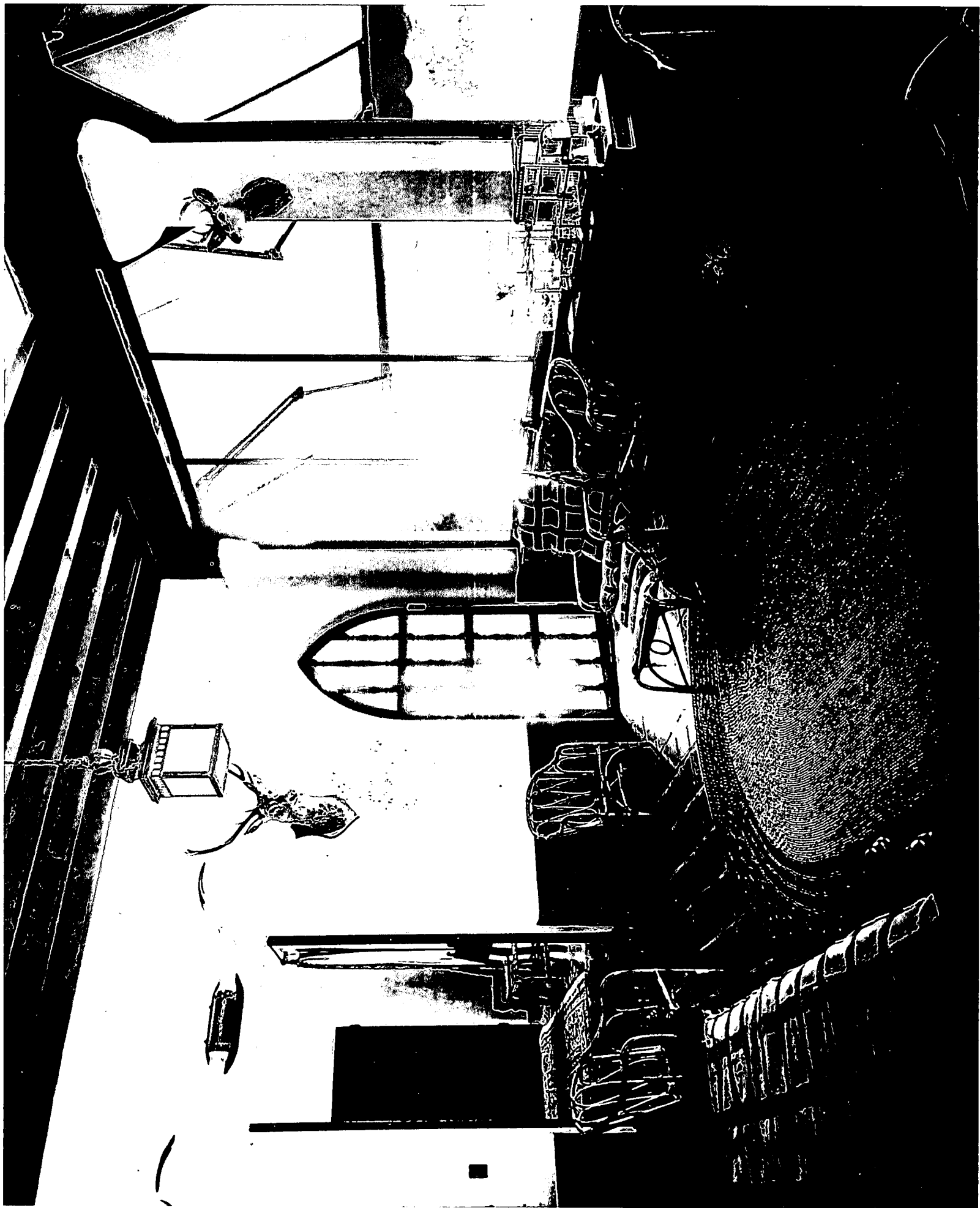
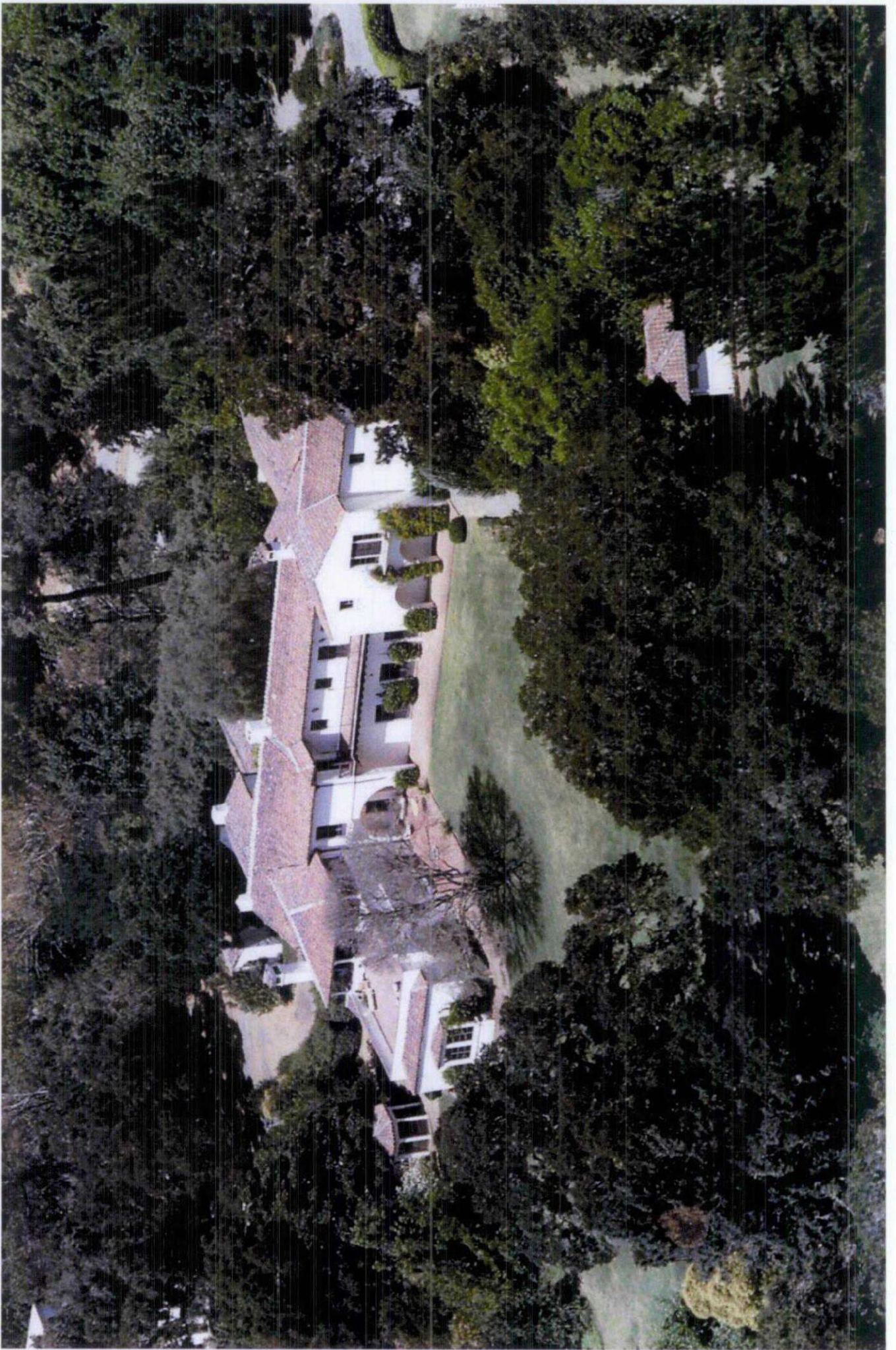
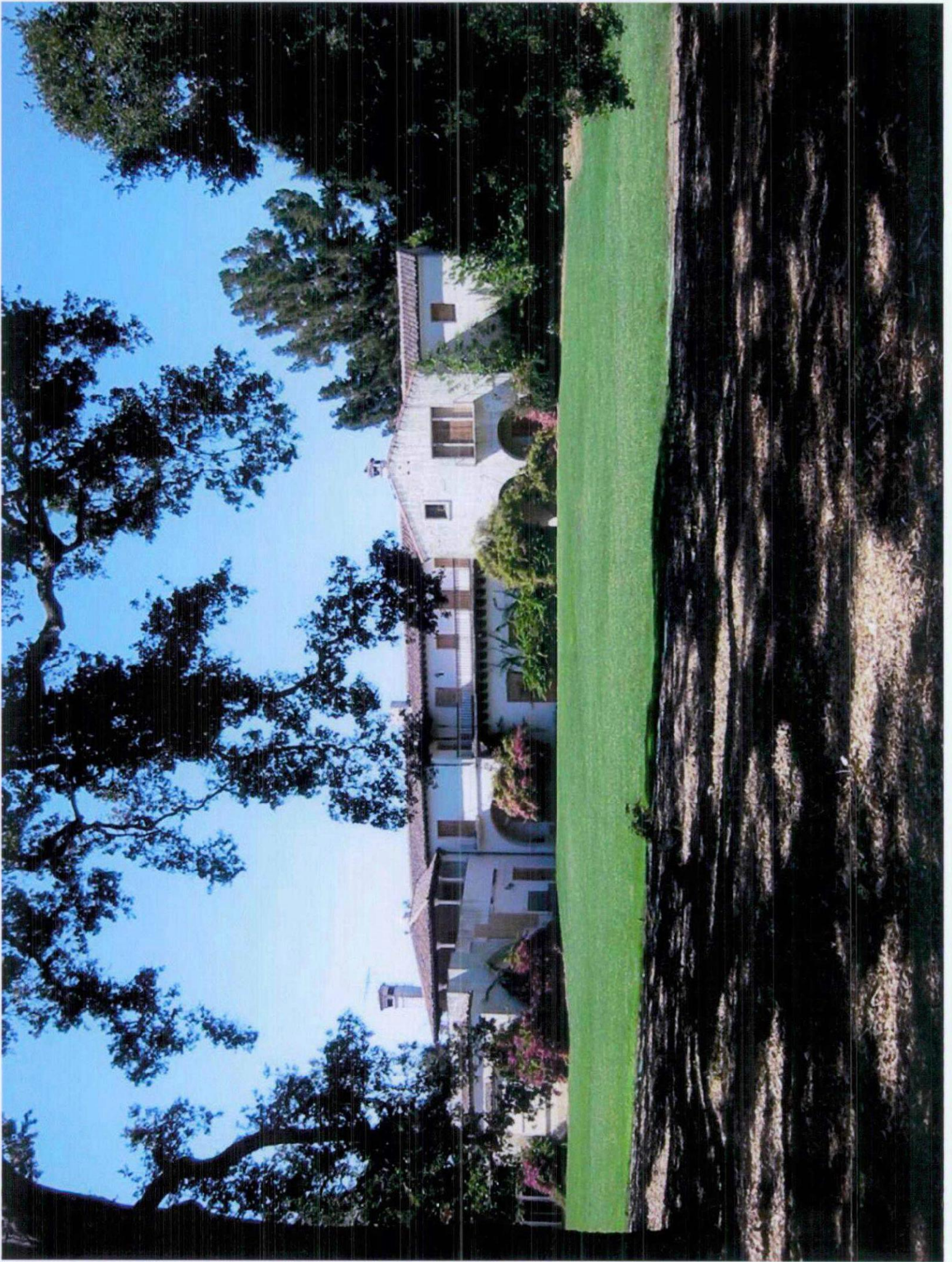


EXHIBIT C
EXISTING CONDITIONS - PHOTOS







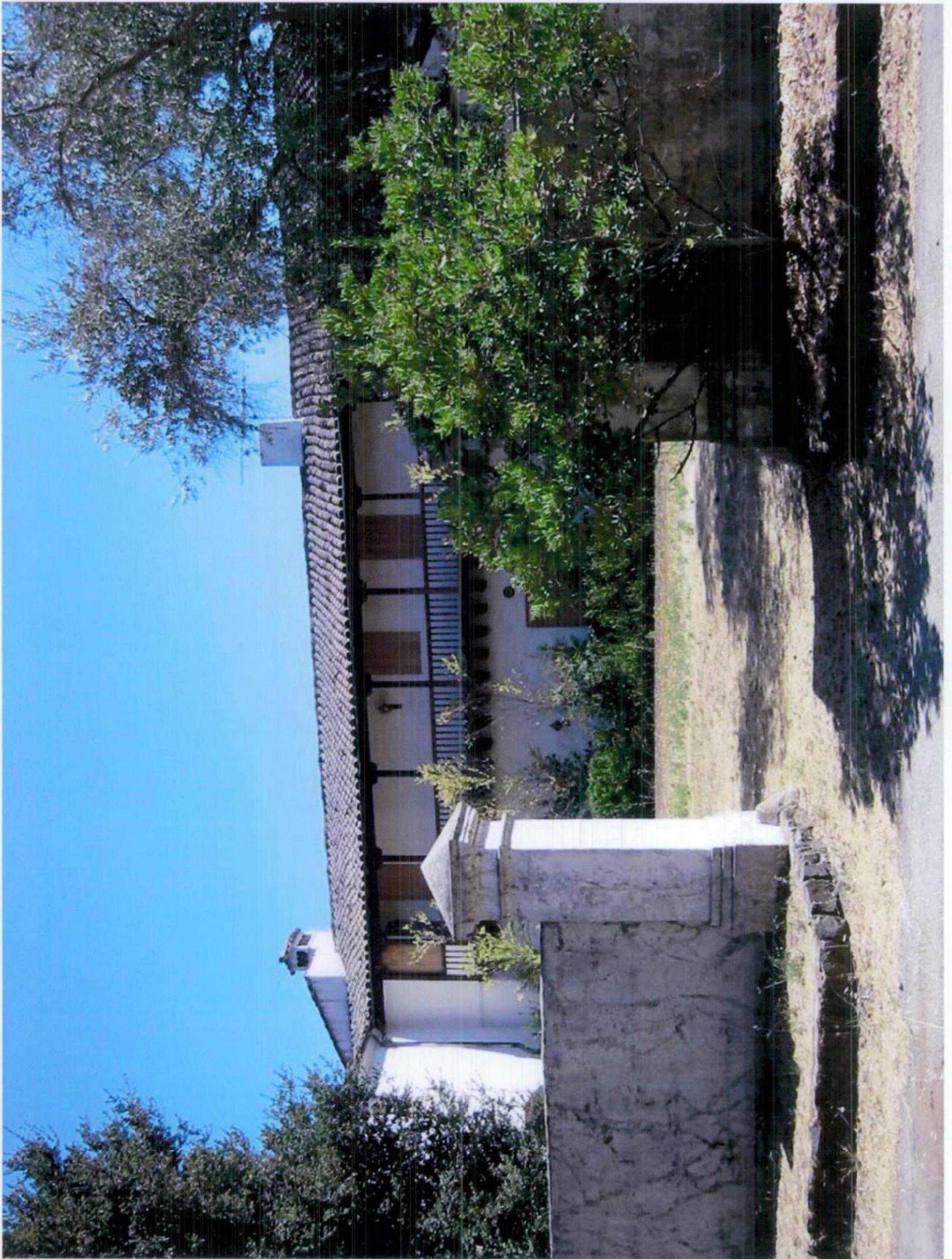




EXHIBIT D

RELOCATION INFORMATION – COST ESTIMATE

Preliminary Budget Estimate

date:	11/29/2001	Project name:	Jobs Residence
documents:	Structural Engineering Evaluation, prepared by Forell/Eisesser Engineer, Inc., dated Nov. 21, 2001 Alternate 5 - Relocation to unknown off site location	location:	460 Mountain Home Road
		floor:	
		area:	17000 sqft

	quantity	unit	unit cost	total
Relocation				
Relocate house to unknown site (In 12 sections)	12	sect.	unknown	unknown
New foundations	384	lf	100.00	38,400
subtotal				38,400
Seismic Upgrades				
1 Anchor perimeter and int. bearing walls to foundation	1	est	187,119.00	187,119
2 Seismic upgrades to exterior walls.	1	est	914,835.00	914,835
3 Sheath interior transverse bearing walls.	1	est	177,527.00	177,527
4 Reinforce floor and roof to wall connections.	1	est	900,144.00	900,144
5 Replace water damaged structure in bathroom	1	est	415,165.00	415,165
6 Add diaphragm to roof.	1	est	362,782.00	362,782
7 Add diaphragm to second floor structure	1	est	241,239.00	241,239
subtotal				3,198,811
Facade/Exterior				
Repair/ restore original wood and glass doors	2,140	sq ft	60.00	128,400
Repair balconies and sleeping porches	1	est	100,000.00	100,000
subtotal				228,400
Interiors				
Build out tenant improvements in main house	17,000	sq.ft	100.00	1,700,000
subtotal				1,700,000
Demising walls/Shafts				
subtotal				NA
Vertical transportation				
subtotal				NA Existing elevator to be abandoned
Fire protection				
subtotal				NA
Plumbing				
New plumbing laterals rehook up plumbing	1	alw	60,000.00	60,000
subtotal				60,000
HVAC				
New HVAC service & distribution	17,000	sqft	12	204,000 Existing demoid due to asbestos
subtotal				204,000
Electrical				
New electrical service + new panels	1	alw	75,000	75,000
TI electrical				Included in Interiors
subtotal				75,000
subtotal				5,504,611
General requirements				715,599
Permit allowance				55,046
Contractor's fee				627,528
Contingency				690,278
Total				7,593,060